

Downtown Life Safety Grant Program
Application submitted Friday, June 17, 2016



Subject Property: 212 N Bryan Avenue
Lot 4 & 5' of Lot 3 in Block 30 of the Bryan Original Townsite

- REQUESTED FUNDING:** \$31,950 – Sprinkler System
\$9,000 – Emergency Exit Stairway
\$9,050 – Fire Rated Windows
\$50,000 – Total
- APPLICATION STATUS:** The application meets the minimum submittal requirements
- ELIGIBILITY:** The application meets all eligibility requirements
- EXISTING LAND USE:** Vacant
- PROPOSED LAND USE:** Retail space and loft apartments
- ZONING:** Downtown South District (DT-S)
- APPLICANT:** James Murr
- COST ESTIMATE #1:** \$149,860 – Grant Caffey
- COST ESTIMATE #2:** \$150,595 – Bluestone
- PREVIOUS FUNDING:** Received \$17,814 from DIP grant funds in 2016



Google Street View

Review Panel Recommendation:
Approve applicants request for \$50,000 in matching grant funds

Downtown Life Safety Grant Applications – Cover Page

From: 212 Bryan, LP

We are submitting multiple items under the grant request, itemized by individual submission pages following this cover page. It is not typical for some of these items to be fully designed prior to letting the construction contract and prior to full permit approval. We are applying for \$50,000 in grant funds to be allocated to these projects broadly, such that if we achieve cost savings or one of the items does not have to be completed, then we can still obtain the grant funding for the items we do have to complete. Assuming our costs for the remaining required life safety items exceeds \$100,000 in total.

Downtown Life Safety Grant Application

Date Received
Case Contact

212 Bryan LP (James Murr) ^{979-985-5596(f)} ^{979-985-5610 (p)} james@coartiers.com
 Owner's Name Telephone No. Fax No. E-Mail

4121 State Hwy 6 S. College Station, Texas 77845
 Owner's Mailing Address

James Murr ⁹⁷⁹⁻⁹⁸⁵⁻⁵⁶¹⁰ ⁹⁷⁹⁻⁹⁸⁵⁻⁵⁵⁹⁶ james@coartiers.com
 Agent's Name Telephone No. Fax No. E-Mail

4121 State Hwy 6 S. College Station, Texas 77845
 Agent's Mailing Address

212 N. Bryan Ave Bryan, Texas 77803
 Building Name and Address

City of Bryan TOWNSITE 120 4 & 5 OF 3
 Subdivision Block Lot(s)

Zoning of Property: Commercial Downtown (AT-5)

Current Use of Property: None Proposed Use of Property: Mixed: Retail & Residential

Cost Estimate No. 1 prepared by: Grant Apply Total for Cost Estimate No. 1: \$ 63,900

Cost Estimate No. 2 prepared by: Bluestone Total for Cost Estimate No. 2: \$ 63,550

Please note that both Cost Estimates must be attached to this application.

Grant Request: \$ 31,950 - Sprinkler System

Has this property received any other funding through the City of Bryan? Receiving
 \$17,814.00 out of our DIP request

Source	Amount

Project description: Please provide a narrative of the project describing the work to be completed (maximum of 750 words). Please attach additional pages if necessary.

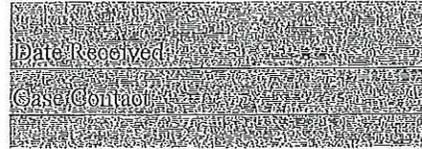
212 N. Bryan will be residential lofts and retail space. see attached conceptual plans.

Downtown Life Safety Grant Application

Date Received:
Case Contact:

212 Bryan LP (James Murr)	979-985-5596(f)	979-985-5610 (p)	james@coartiers.com
Owner's Name	Telephone No.	Fax No.	E-Mail
4121 State Hwy 6 S. College Station, Texas 77845			
Owner's Mailing Address			
James Murr	979-985-5610	979-985-5596	james@coartiers.com
Agent's Name	Telephone No.	Fax No.	E-Mail
4121 State Hwy 6 S. College Station, Texas 77845			
Agent's Mailing Address			
212 N. Bryan Ave. Bryan, Texas 77803			
Building Name and Address			
City of Bryan TOWNSITE	120	4 & 5 OF 3	
Subdivision	Block	Lot(s)	
Zoning of Property: Commercial Downtown (DT-5)			
Current Use of Property: NONE	Proposed Use of Property: Mixed: Retail & Residential		
Cost Estimate No. 1 prepared by: Grant Carey	Total for Cost Estimate No. 1: \$ 18,000.00		
Cost Estimate No. 2 prepared by: Bluestone	Total for Cost Estimate No. 2: \$ 18,500.00		
Please note that both Cost Estimates must be attached to this application.			
Grant Request: \$ 9,000.00	- 2nd Staircase for Emergency Exit		
Has this property received any other funding through the City of Bryan? Receiving			
\$17,814.00 out of our DIP request			
Source	Amount		
Project description: Please provide a narrative of the project describing the work to be completed (maximum of 750 words). Please attach additional pages if necessary.			
212 N. Bryan will be residential lofts and retail space. See attached conceptual plans.			

Downtown Life Safety Grant Application



212 Bryan LP (James Murr) ^{979-985-5596(f)} ^{979-985-5610 (p)} james@cofhiers.com
 Owner's Name Telephone No. Fax No. E-Mail
 4121 State Hwy 6 S. College Station, Texas 77845
 Owner's Mailing Address
 James Murr ⁹⁷⁹⁻⁹⁸⁵⁻⁵⁶¹⁰ ⁹⁷⁹⁻⁹⁸⁵⁻⁵⁵⁹⁶ james@cofhiers.com
 Agent's Name Telephone No. Fax No. E-Mail
 4121 State Hwy 6 S. College Station, Texas 77845
 Agent's Mailing Address
 212 N. Bryan Ave Bryan, Texas 77803
 Building Name and Address
 City of Bryan Township 120 4 & 5 of 3
 Subdivision Block Lot(s)
 Zoning of Property: Commercial Downtown (AT-5) Mixed:
 Current Use of Property: None Proposed Use of Property: Retail & Residential
 Cost Estimate No. 1 prepared by: Grant Apply Total for Cost Estimate No. 1: \$ 22,500.00
 Cost Estimate No. 2 prepared by: Bluestone Total for Cost Estimate No. 2: \$ 20,500.00
 Please note that both Cost Estimates must be attached to this application.
 Grant Request: \$ 11,250.00 - fire rated windows over neighboring bldg
 Has this property received any other funding through the City of Bryan? Receiving
 \$17,814.00 out of our DIP request
 Source Amount
 Project description: Please provide a narrative of the project describing the work to be completed (maximum of 750 words). Please attach additional pages if necessary.
 212 N. Bryan will be residential 10ft5 and retail space. See attached conceptual plans.

Downtown Life Safety Grant Application

Date Received:
Case Contact:

212 Bryan LP (James Murr) ^{979-985-5596(f)} ^{979-985-5610 (p)} ^{james@cottiers.com}
 Owner's Name Telephone No. Fax No. E-Mail

4121 State Hwy 6 S. College Station, Texas 77845
 Owner's Mailing Address

James Murr ⁹⁷⁹⁻⁹⁸⁵⁻⁵⁶¹⁰ ⁹⁷⁹⁻⁹⁸⁵⁻⁵⁵⁹⁶ ^{james@cottiers.com}
 Agent's Name Telephone No. Fax No. E-Mail

4121 State Hwy 6 S. College Station, Texas 77845
 Agent's Mailing Address

212 N. Bryan Ave Bryan, Texas 77803
 Building Name and Address

City of Bryan TOWNSITE 120 4 & 5 of 3
 Subdivision Block Lot(s)

Zoning of Property: Commercial Downtown (AT-5)

Current Use of Property: NONE Proposed Use of Property: Mixed: Retail & Residential

Cost Estimate No. 1 prepared by: Grant Apply Total for Cost Estimate No. 1: \$ 31,960⁰⁰

Cost Estimate No. 2 prepared by: Bluestone Total for Cost Estimate No. 2: \$ 32,595⁰⁰

Please note that both Cost Estimates must be attached to this application.

Grant Request: \$ 15,980⁰⁰ - Fire Alarm System

Has this property received any other funding through the City of Bryan? Receiving

\$17,814.00 out of our DIP request

Source	Amount

Project description: Please provide a narrative of the project describing the work to be completed (maximum of 750 words). Please attach additional pages if necessary.

212 N. Bryan will be residential lofts and retail space. See attached conceptual plans.

Downtown Life Safety Grant Application

Date Received
Case/Contact

212 Bryan LP (James Murr) ^{979-985-5596(f)} ^{979-985-5610(p)} james@cofhiers.com
 Owner's Name Telephone No. Fax No. E-Mail
 4121 State Hwy 6 S. College Station, Texas 77845
 Owner's Mailing Address
 James Murr ⁹⁷⁹⁻⁹⁸⁵⁻⁵⁶¹⁰ ⁹⁷⁹⁻⁹⁸⁵⁻⁵⁵⁹⁶ james@cofhiers.com
 Agent's Name Telephone No. Fax No. E-Mail
 4121 State Hwy 6 S. College Station, Texas 77845
 Agent's Mailing Address
 212 N. Bryan Ave Bryan, Texas 77803
 Building Name and Address
 City of Bryan Townsite 120 4 & 5 of 3
 Subdivision Block Lot(s)
 Zoning of Property: Commercial Downtown (DT-5) Mixed:
 Current Use of Property: None Proposed Use of Property: Retail & Residential
 Cost Estimate No. 1 prepared by: Grant Carry Total for Cost Estimate No. 1: \$ 11,000.00
 Cost Estimate No. 2 prepared by: Bluestone Total for Cost Estimate No. 2: \$ 12,200.00
 Please note that both Cost Estimates must be attached to this application.
 Grant Request: \$ 5,500.00 - Fire rated partitions (1 or 2 hr rated)
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 Source Amount
 Project description: Please provide a narrative of the project describing the work to be completed (maximum of 750 words). Please attach additional pages if necessary.
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James Murr ⁹⁷⁹⁻⁹⁸⁵⁻⁵⁶¹⁰ ⁹⁷⁹⁻⁹⁸⁵⁻⁵⁵⁹⁶ james@cothiers.com
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212 N. Bryan Ave Bryan, Texas 77803
 Building Name and Address

City of Bryan Townsite 120 4 & 5 of 3
 Subdivision Block Lot(s)

Zoning of Property: Commercial Downtown (AT-5)

Current Use of Property: None Proposed Use of Property: Mixed: Retail & Residential

Cost Estimate No. 1 prepared by: Grant Cappy Total for Cost Estimate No. 1: \$ 2,500.00

Cost Estimate No. 2 prepared by: Bluestone Total for Cost Estimate No. 2: \$ 3,250.00

Please note that both Cost Estimates must be attached to this application.

Grant Request: * 1,250.00 - Emergency Exit Signage

Has this property received any other funding through the City of Bryan? Receiving

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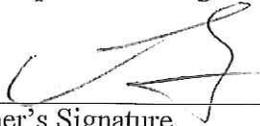
Source	Amount

Project description: Please provide a narrative of the project describing the work to be completed (maximum of 750 words). Please attach additional pages if necessary.

212 N. Bryan will be residential lofts and retail space. See attached conceptual plans.

Certification

I hereby certify that I am the owner of the above described property for the purpose of this application. I also understand it is necessary for me or my authorized agent to be present at any and all public hearings in regard to this case.


Owner's Signature James Muir
Owner's Printed Name
James Muir for 212 Bryon LP

4121 SH-6 South College Station, TX 77845 979-985-5610
Owner's Mailing Address Owner's Telephone

Agent Authorization

In lieu of representing this request myself as owner of the subject property, I hereby authorize the person designated below to act as my agent for the application, processing, representation and/ or presentation of this request. The designated agent shall be the principle contact person with the City (and vice versa) in processing and responding to requirements, information, or issues relevant to this request.

Owner's Signature Owner's Printed Name

Agent's Signature Agent's Printed Name

Agent's telephone number Agent's Address

**CITY OF BRYAN
LIFE SAFETY GRANT PROGRAM**

This Agreement is by and between the CITY OF BRYAN, a Texas Home Rule Municipal Corporation (hereinafter referred to as "CITY"), and 212 Bryan LP, property owner of 212 N. Bryan Ave., located in Downtown Bryan. (herein after referred to as "Grant Recipient").

As part of the City's Downtown Life Safety Grant, both parties agree that this program aides downtown business owners in the rehabilitation and restoration of Historic Downtown Bryan to encourage the elimination of conditions that could be injurious to public health, safety and welfare; to encourage private investment in commercial and multi-family housing that may otherwise be cost prohibitive; and to stimulate redevelopment to increase sales tax revenues and property values.

The Grant Recipient agrees and accepts funding from the City up to 50% of the cost of the approved Life Safety improvement(s), not to exceed \$_____. The Grant Recipient agrees to comply with the requirements of the Downtown Life Safety Grant Guidelines outlined in Exhibit "A."

The Grant Recipient shall complete all work in the scope approved by the City of Bryan according to Exhibit "B." The Grant recipient shall complete all Extra Work in connection therewith. All work and materials shall be in strict conformity with the specifications. The Substantial Completion of the work shall not excuse the Grant recipient from performing all the work undertaken, whether of a minor or major nature, and thereby completing the Project in accordance with the Grant Program guidelines and scope of work. In the event that the Grant recipient fails to perform the work as required for Final Completion, Grant recipient shall reimburse the City for all costs; or the City may contract with a third party to complete the work and the Grant recipient shall assume and pay the costs of the performance of the work as contracted.

By: 
Printed Name: James Murr for 212 Bryan LP
Title: Managing Member of ITS GP
Date: _____

CITY OF BRYAN:

City Manager Date: _____

City Attorney Date: _____

Chief Financial Officer Date: _____



GRANTCAFFEY

Life Safety Items for 212 N. Bryan Ave.

Construction Estimate

\$18,000	2 nd Staircase for Emergency Egress
\$22,500	Fire Rated Windows(over neighboring building)
\$63,900	Sprinkler System
\$31,960	Fire Alarm System
\$11,000	2 Hour Fire Rated partitions between commercial and residential uses
<u>\$2,500</u>	Emergency Exit Signage
\$149,860	Total



Bid Proposal – Life Safety

Owner(s):
James Murr
212 N Bryan
Bryan, TX 77803

Bluestone Partners, LP:
Charlie Harper
211 W. 23 Ave.
Bryan, TX 77803

To: James Murr (hereinafter called the owner):

Bluestone Partners hereby offers, in the amount stated below, to furnish all labor, materials, tools, equipment, apparatus, facilities, transportation and permits for the life safety systems in the 212 N Bryan building in Bryan, TX if this offer is accepted by the Owner.

Total Amount of Base Bid \$150,595.00 Lump Sum

The base bid amount is the total amount bid for the entire contract work including all applicable taxes. Any alteration, or change to the plans and specifications submitted by the Owner must be clearly indicated and initialed by both the Owner and Bluestone Partners. This Bid is based upon the proposed plans for residential and retail mixed use project.

Life Safety:	\$150,595.00
• 2 nd stair case for emergency egress.....	\$18,500.00
• Fire rated windows (operable over neighboring building).....	\$20,500.00
• Sprinkler System.....	\$63,550.00
• Fire Alarm System.....	\$32,595.00
• 2 house fire rated partitions	\$12,200.00
• Emergency Exit signage / Egress lightng.....	\$3,250.00

X _____
Bluestone Partners Construction, LP

X _____
Owner, James Murr

Bluestone Partners shall hold the base bid and all alternative pricing for 30 calendar days from the date of this Bid Proposal. These prices will be held fixed and not changed throughout the job once the owner awards the contract to Bluestone Partners.

Brazos Tax

Property Search Results > 22538 XTERRA CONSTRUCTION LLC for Year 2015

Property

Account

Property ID: 22538 Legal Description: CITY OF BRYAN TOWNSITE, BLOCK 120, LOT 4 & 5' OF 3
 Geographic ID: 191000-0120-0030 Agent Code:
 Type: Real
 Property Use Code:
 Property Use Description:

Location

Address: 212 N BRYAN AVE Mapsco:
 Neighborhood: Map ID:
 Neighborhood CD:

Owner

Name: XTERRA CONSTRUCTION LLC Owner ID: 513995
 Mailing Address: 5506 FRANKLIN AVE % Ownership: 100.0000000000%
 WACO, TX 76710-6935

Exemptions:

See Deed - Recently Sold to 212 Bryan LP

Values

(+) Improvement Homesite Value:	+	\$0	
(+) Improvement Non-Homesite Value:	+	\$152,400	
(+) Land Homesite Value:	+	\$0	
(+) Land Non-Homesite Value:	+	\$73,180	Ag / Timber Use Value
(+) Agricultural Market Valuation:	+	\$0	\$0
(+) Timber Market Valuation:	+	\$0	\$0

(=) Market Value:	=	\$225,580	
(-) Ag or Timber Use Value Reduction:	-	\$0	

(=) Appraised Value:	=	\$225,580	
(-) HS Cap:	-	\$0	

(=) Assessed Value:	=	\$225,580	

Taxing Jurisdiction

Owner: XTERRA CONSTRUCTION LLC
 % Ownership: 100.0000000000%
 Total Value: \$225,580

Entity	Description	Tax Rate	Appraised Value	Taxable Value	Estimated Tax
C1	CITY OF BRYAN	0.629990	\$225,580	\$225,580	\$1,421.13
CAD	APPRAISAL DISTRICT	0.000000	\$225,580	\$225,580	\$0.00
G1	BRAZOS COUNTY	0.485000	\$225,580	\$225,580	\$1,094.06

S1	BRYAN ISD	1.350000	\$225,580	\$225,580	\$3,045.33
TZ21B	BRYAN TAX INCREMENT ZONE #21	0.000000	\$225,580	\$225,580	\$0.00
Total Tax Rate:		2.464990			
				Taxes w/Current Exemptions:	\$5,560.52
				Taxes w/o Exemptions:	\$5,560.52

Improvement / Building

No improvements exist for this property.

Land

No land segments exist for this property.

Roll Value History

Year	Improvements	Land Market	Ag Valuation	Appraised	HS Cap	Assessed
2015	\$152,400	\$73,180	0	225,580	\$0	\$225,580
2014	\$162,420	\$73,180	0	235,600	\$0	\$235,600
2013	\$166,440	\$73,180	0	239,620	\$0	\$239,620
2012	\$166,600	\$73,180	0	239,780	\$0	\$239,780
2011	\$176,000	\$73,180	0	249,180	\$0	\$249,180
2010	\$179,400	\$73,180	0	252,580	\$0	\$252,580
2009	\$207,770	\$41,510	0	249,280	\$0	\$249,280
2008	\$147,250	\$23,720	0	170,970	\$0	\$170,970
2007	\$151,580	\$23,200	0	174,780	\$0	\$174,780
2006	\$161,680	\$18,540	0	180,220	\$0	\$180,220
2005	\$59,760	\$18,540	0	78,300	\$0	\$78,300
2004	\$55,430	\$18,540	0	73,970	\$0	\$73,970
2003	\$53,560	\$18,540	0	72,100	\$0	\$72,100
2002	\$43,870	\$15,980	0	59,850	\$0	\$59,850

Deed History - (Last 3 Deed Transactions)

#	Deed Date	Type	Description	Grantor	Grantee	Volume	Page	Deed Number
1	8/3/2007	WD	WARRANTY DEED	TODD ERIC V & HAZEL L	RICHBOURG HORACE & CAROLYN	8161	049	00972250
2	6/9/1999	WD	WARRANTY DEED	TODD ERIC & HAZEL L &	TODD ERIC V & HAZEL L	3505	006	
3	6/6/1997	WD	WARRANTY DEED	KAHAN SIMON &	TODD ERIC & HAZEL L &	2854	208	

Tax Due

Property Tax Information as of 06/16/2016

Amount Due if Paid on: 

Year	Taxing Jurisdiction	Taxable Value	Base Tax	Base Taxes Paid	Base Tax Due	Discount / Penalty & Interest	Attorney Fees	Amount Due
2015	CITY OF BRYAN	\$225,580	\$1421.13	\$1421.13	\$0.00	\$0.00	\$0.00	\$0.00
2015	BRAZOS COUNTY	\$225,580	\$1094.06	\$1094.06	\$0.00	\$0.00	\$0.00	\$0.00
2015	BRYAN ISD	\$225,580	\$3045.33	\$3045.33	\$0.00	\$0.00	\$0.00	\$0.00
2015 TOTAL:			\$5560.52	\$5560.52	\$0.00	\$0.00	\$0.00	\$0.00

	XTERRA CONSTRUCTION LLC TOTAL:		\$5560.52	\$5560.52	\$0.00	\$0.00	\$0.00	\$0.00
2006	CITY OF BRYAN	\$180,220	\$1146.92	\$1146.92	\$0.00	\$0.00	\$0.00	\$0.00
2006	BRYAN ISD	\$180,220	\$2937.58	\$2937.58	\$0.00	\$0.00	\$0.00	\$0.00
2006	BRAZOS COUNTY	\$180,220	\$820.00	\$820.00	\$0.00	\$0.00	\$0.00	\$0.00
	2006 TOTAL:		\$4904.50	\$4904.50	\$0.00	\$0.00	\$0.00	\$0.00
2005	BRAZOS COUNTY	\$78,300	\$364.10	\$364.10	\$0.00	\$0.00	\$0.00	\$0.00
2005	CITY OF BRYAN	\$78,300	\$498.30	\$498.30	\$0.00	\$0.00	\$0.00	\$0.00
2005	BRYAN ISD	\$78,300	\$1393.74	\$1393.74	\$0.00	\$0.00	\$0.00	\$0.00
	2005 TOTAL:		\$2256.14	\$2256.14	\$0.00	\$0.00	\$0.00	\$0.00
2004	BRAZOS COUNTY	\$73,970	\$349.51	\$349.51	\$0.00	\$0.00	\$0.00	\$0.00
2004	CITY OF BRYAN	\$73,970	\$470.75	\$470.75	\$0.00	\$0.00	\$0.00	\$0.00
2004	BRYAN ISD	\$73,970	\$1235.30	\$1235.30	\$0.00	\$0.00	\$0.00	\$0.00
	2004 TOTAL:		\$2055.56	\$2055.56	\$0.00	\$0.00	\$0.00	\$0.00
2003	CITY OF BRYAN	\$72,100	\$458.84	\$458.84	\$0.00	\$0.00	\$0.00	\$0.00
2003	BRAZOS COUNTY	\$72,100	\$313.64	\$313.64	\$0.00	\$0.00	\$0.00	\$0.00
2003	BRYAN ISD	\$72,100	\$1211.28	\$1211.28	\$0.00	\$0.00	\$0.00	\$0.00
	2003 TOTAL:		\$1983.76	\$1983.76	\$0.00	\$0.00	\$0.00	\$0.00
2002	CITY OF BRYAN	\$59,850	\$380.89	\$380.89	\$0.00	\$0.00	\$0.00	\$0.00
2002	BRAZOS COUNTY	\$59,850	\$248.14	\$248.14	\$0.00	\$0.00	\$0.00	\$0.00
2002	BRYAN ISD	\$59,850	\$1024.63	\$1024.63	\$0.00	\$0.00	\$0.00	\$0.00
	2002 TOTAL:		\$1653.66	\$1653.66	\$0.00	\$0.00	\$0.00	\$0.00
2001	CITY OF BRYAN	\$170,970	\$380.89	\$380.89	\$0.00	\$0.00	\$0.00	\$0.00
2001	BRAZOS COUNTY	\$170,970	\$251.37	\$251.37	\$0.00	\$0.00	\$0.00	\$0.00
2001	BRYAN ISD	\$170,970	\$998.30	\$998.30	\$0.00	\$0.00	\$0.00	\$0.00
	2001 TOTAL:		\$1630.56	\$1630.56	\$0.00	\$0.00	\$0.00	\$0.00
2008	CITY OF BRYAN	\$170,970	\$1088.06	\$1088.06	\$0.00	\$0.00	\$0.00	\$0.00
2008	BRAZOS COUNTY	\$170,970	\$820.66	\$820.66	\$0.00	\$0.00	\$0.00	\$0.00
2008	BRYAN ISD	\$170,970	\$2205.52	\$2205.52	\$0.00	\$0.00	\$0.00	\$0.00
2008	Z REFUND ENTITY	\$0	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
	2008 TOTAL:		\$4114.24	\$4114.24	\$0.00	\$0.00	\$0.00	\$0.00
2007	BRAZOS COUNTY	\$174,780	\$812.72	\$812.72	\$0.00	\$0.00	\$0.00	\$0.00
2007	BRYAN ISD	\$174,780	\$2254.66	\$2254.66	\$0.00	\$0.00	\$0.00	\$0.00
2007	CITY OF BRYAN	\$174,780	\$1112.30	\$1112.30	\$0.00	\$0.00	\$0.00	\$0.00
	2007 TOTAL:		\$4179.68	\$4179.68	\$0.00	\$0.00	\$0.00	\$0.00
2014	CITY OF BRYAN	\$235,600	\$1484.25	\$1484.25	\$0.00	\$0.00	\$0.00	\$0.00
2014	BRAZOS COUNTY	\$235,600	\$1142.66	\$1142.66	\$0.00	\$0.00	\$0.00	\$0.00
2014	BRYAN ISD	\$235,600	\$3039.24	\$3039.24	\$0.00	\$0.00	\$0.00	\$0.00
	2014 TOTAL:		\$5666.15	\$5666.15	\$0.00	\$0.00	\$0.00	\$0.00
2013	CITY OF BRYAN	\$239,620	\$1509.58	\$1509.58	\$0.00	\$0.00	\$0.00	\$0.00
2013	BRAZOS COUNTY	\$239,620	\$1168.15	\$1168.15	\$0.00	\$0.00	\$0.00	\$0.00
2013	BRYAN ISD	\$239,620	\$3091.10	\$3091.10	\$0.00	\$0.00	\$0.00	\$0.00
	2013 TOTAL:		\$5768.83	\$5768.83	\$0.00	\$0.00	\$0.00	\$0.00
2012	CITY OF BRYAN	\$239,780	\$1518.55	\$1518.54	\$0.00	\$0.00	\$0.00	\$0.00
2012	BRAZOS COUNTY	\$239,780	\$1162.93	\$1162.93	\$0.00	\$0.00	\$0.00	\$0.00
2012	BRYAN ISD	\$239,780	\$3093.16	\$3093.16	\$0.00	\$0.00	\$0.00	\$0.00
	2012 TOTAL:		\$5774.64	\$5774.63	\$0.00	\$0.00	\$0.00	\$0.00
2011	CITY OF BRYAN	\$249,180	\$1585.78	\$1585.78	\$0.00	\$0.00	\$0.00	\$0.00
2011	BRAZOS COUNTY	\$249,180	\$1208.52	\$1208.52	\$0.00	\$0.00	\$0.00	\$0.00
2011	BRYAN ISD	\$249,180	\$3214.42	\$3214.42	\$0.00	\$0.00	\$0.00	\$0.00
	2011 TOTAL:		\$6008.72	\$6008.72	\$0.00	\$0.00	\$0.00	\$0.00
2010	CITY OF BRYAN	\$252,580	\$1607.42	\$1607.42	\$0.00	\$0.00	\$0.00	\$0.00

2010	BRAZOS COUNTY	\$252,580	\$1226.53	\$1226.53	\$0.00	\$0.00	\$0.00	\$0.00
2010	BRYAN ISD	\$252,580	\$3258.28	\$3258.28	\$0.00	\$0.00	\$0.00	\$0.00
2010	Z REFUND ENTITY	\$0	\$0.00	\$5975.52	\$0.00	\$0.00	\$0.00	\$0.00
	2010 TOTAL:		\$6092.23	\$12067.75	\$0.00	\$0.00	\$0.00	\$0.00
2009	CITY OF BRYAN	\$249,280	\$1586.41	\$1586.41	\$0.00	\$0.00	\$0.00	\$0.00
2009	BRAZOS COUNTY	\$249,280	\$1196.54	\$1196.54	\$0.00	\$0.00	\$0.00	\$0.00
2009	BRYAN ISD	\$249,280	\$3215.71	\$3215.71	\$0.00	\$0.00	\$0.00	\$0.00
	2009 TOTAL:		\$5998.66	\$5998.66	\$0.00	\$0.00	\$0.00	\$0.00
	RICHBOURG HORACE & CAROLYN TOTAL:		\$43603.15	\$49578.66	\$0.00	\$0.00	\$0.00	\$0.00
	TODD ERIC V & HAZEL I TOTAL:		\$14484.18	\$14484.18	\$0.00	\$0.00	\$0.00	\$0.00
	GRAND TOTAL (ALL OWNERS):		\$63647.85	\$69623.36	\$0.00	\$0.00	\$0.00	\$0.00

NOTE: Penalty & Interest accrues every month on the unpaid tax and is added to the balance. Attorney fees may also increase your tax liability if not paid by July 1. If you plan to submit payment on a future date, make sure you enter the date and RECALCULATE to obtain the correct total amount due.

Questions Please Call (979) 775-9930

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

General Warranty Deed

Date: March 1, 2016

Grantor: Xterra Construction, LLC, Texas limited liability company
Grantor's Mailing Address: 5506 Franklin Avenue, Waco, Texas 76710

Grantee: 212 Bryan, LP, a Texas limited partnership
Grantee's Mailing Address: 4121 Highway 6 South, College Station, Texas 77845

Consideration: Cash and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged.

Property (including any improvements):

Lot Four (4) & Five Feet (5') of Lot Three (3), Block 120 of the City of Bryan Townsite, Bryan, Brazos County, Texas.

Reservations from Conveyance: None

Exceptions to Conveyance and Warranty: None

Grantor, for the Consideration and subject to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty, grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any way belonging, to have and to hold it to Grantee and Grantee's heirs, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof, except as to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty.

When the context requires, singular nouns and pronouns include the plural. This instrument was prepared based on information furnished by the parties, and no independent title search has been made.

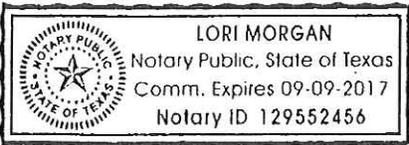
Xterra Construction, LLC, a Texas limited liability company

Keith Richbourg

Keith Richbourg, President

STATE OF TEXAS)
COUNTY OF BRAZOS)

This instrument was acknowledged before me on March 1, 2016, by Keith Richbourg, as the President of Xterra Construction, LLC, Texas limited liability company, on behalf of said company.



[Signature]

Notary Public, State of Texas
My commission expires: 9/9/2017

PREPARED IN THE OFFICE OF:

Benn Law Group
3091 University Drive East #110
Bryan, Texas 77802

Filed for Record in:
BRAZOS COUNTY

On: Mar 21, 2016 at 11:01A

As a
Recording

Document Number: 01258842

Amount 30.00

Receipt Number - 570175

By:
Lauren Reistino

AFTER RECORDING RETURN TO:

Benn Law Group
3091 University Drive East #110
Bryan, Texas 77802

STATE OF TEXAS COUNTY OF BRAZOS
I hereby certify that this instrument was filed on the date and time stamped hereon by me and was duly recorded in the volume and page of the Official Public records of:

BRAZOS COUNTY

as stamped hereon by me.

Mar 21, 2016

Karen McQueen, Brazos County Clerk
BRAZOS COUNTY



Impact Fire Services
College Station Branch
4700 Elmo Weedon Rd. Ste. 105
College Station, TX. 77845
Phone:
Fax:

6/29/16

Mr. Kevin Caffey
GrantCaffey Construction, Inc.
3600 Highway 6 South, Suite 100
College Station, Texas 77845

**Re: 212 North Bryan Avenue Building
2121 N. Bryan Avenue
Bryan, Texas**

Gentlemen:

We are pleased to offer the following Fire Sprinkler Scope for the above referenced project. The scope listed below is for your review and evaluation. We have based our proposal on the drawings dated 2/1/16.

Specifically included in this bid are the following:

- **Work to start at the existing 6" city main, located in the alley between the above referenced location and the existing Post Office.** We will install one (1) new 6"x 4" underground tapping sleeve, tapping valve with roadway box, approximately 40' of 4" ductile iron underground pipe and required fittings, with one (1) 4" lead in to the Semi-Public Hall of the existing building. We have included the saw-cutting, removal, and replacement of the concrete roadway for our ditch line, excavation and backfill of material, sand bedding of our ditch line, cement stabilized sand in the roadway, and concrete thrust blocks for the mechanical joint underground fittings.
- System to be installed in accordance with the latest accepted edition of NFPA Pamphlet 13, 24, the City of Bryan, Texas requirements, and drawings dated 2/1/16.
- One (1) wet pipe fire sprinkler riser will be installed in the Semi-Public Hall of the existing building, complete with certified double check backflow preventor, riser check valve with basic trim, test and drain, water flow switch, outside electric bell, and wall mounted fire department connection with "knox" caps. The fire department connection will be located on the exterior wall by the riser. The electric bell will be delivered to the electrical subcontractor for mounting and wiring.



Impact Fire Services
College Station Branch
4700 Elmo Weedon Rd. Ste. 105
College Station, TX. 77845
Phone:
Fax:

Inclusions continued:

- Pipe sizing is based upon light and ordinary hazard occupancy, and is contingent upon a minimum water supply of 70psi @ 1200gpm being available at the point of our connection. A water flow test will be conducted to determine the exact water availability.
- Piping for sizes 1" thru 2" can be schedule 40, black steel, A135, with threaded ends and 125# cast iron threaded fittings.
- Piping for sizes 1-1/2" and above will be schedule 10 thin-wall, black steel, A135, with grooved ends, ductile iron grooved fittings, grooved couplings, and welded outlets.
- Sprinkler piping will be supported in accordance with NFPA #13 and manufacturer's guidelines.
- Sprinkler heads will be quick response brass upright in areas without ceilings, interstitial space between the 1st and 2nd Floor, and 2nd Floor attic space, and quick response chrome semi-recessed with two piece chrome escutcheon below all ceilings. **Semi-recessed sprinkler heads will be located in the center of the ceiling tile.**
- We have included all fire stop for fire and smoke wall/floor penetrations as required.
- Testing of the system in accordance with the lasted accepted edition of NFPA #13.
- Handling and hoisting of all fire protection related materials.
- Clean up of all fire protection related debris. We have not included the cost of participating in a composite clean-up crew.
- Attached terms and conditions.
- Coordination drawings.
- Fees and permits for our work.

Specifically excluded from this proposal are the following:

- Underground vaults, meters, pits, fire hydrants, post indicator valves, etc.
- Excavation and removal of rock.
- Landscape repair and/or replacement.
- Boring of the alley.
- OSHA shoring.
- Remote fire department connection.
- Painting or priming of sprinkler pipe, fittings, and devices. Painter is responsible for the temporary protection of sprinkler heads, devices, etc. from over spray, and for the removal of the protection after painting.
- Electrical work or connections.
- Fire alarm work or connections.
- Central station monitoring.



Impact Fire Services
College Station Branch
4700 Elmo Weedon Rd. Ste. 105
College Station, TX. 77845
Phone:
Fax:

Exclusions continued:

- Fire pump and associated equipment.
- Fire extinguishers and cabinets (can be furnished, if requested).
- Dry pipe fire sprinkler systems, pre-action systems, gas type systems. **Adequate heat will be required throughout the building in order to prevent the wet pipe fire sprinkler system from freezing.**
- Galvanized pipe and fittings.
- Fire sprinkler protection in exterior canopies, overhangs, etc.
- Since a schedule was not available, we have estimated the project without the use of overtime labor.
- Any work associated with hazardous types of materials such as asbestos, lead, etc.
- Microbiological Influenced Corrosion (MIC) systems or testing of city water supplies for MIC (can be provided if requested).
- Payment and performance bonds.
- **The cost to supply us one (1) complete set of hard drawings and specifications, and one (1) set of CADD discs with X-REFS, to assist in the preparation of our shop drawings.**

We have included REMODEL tax, FOB jobsite.

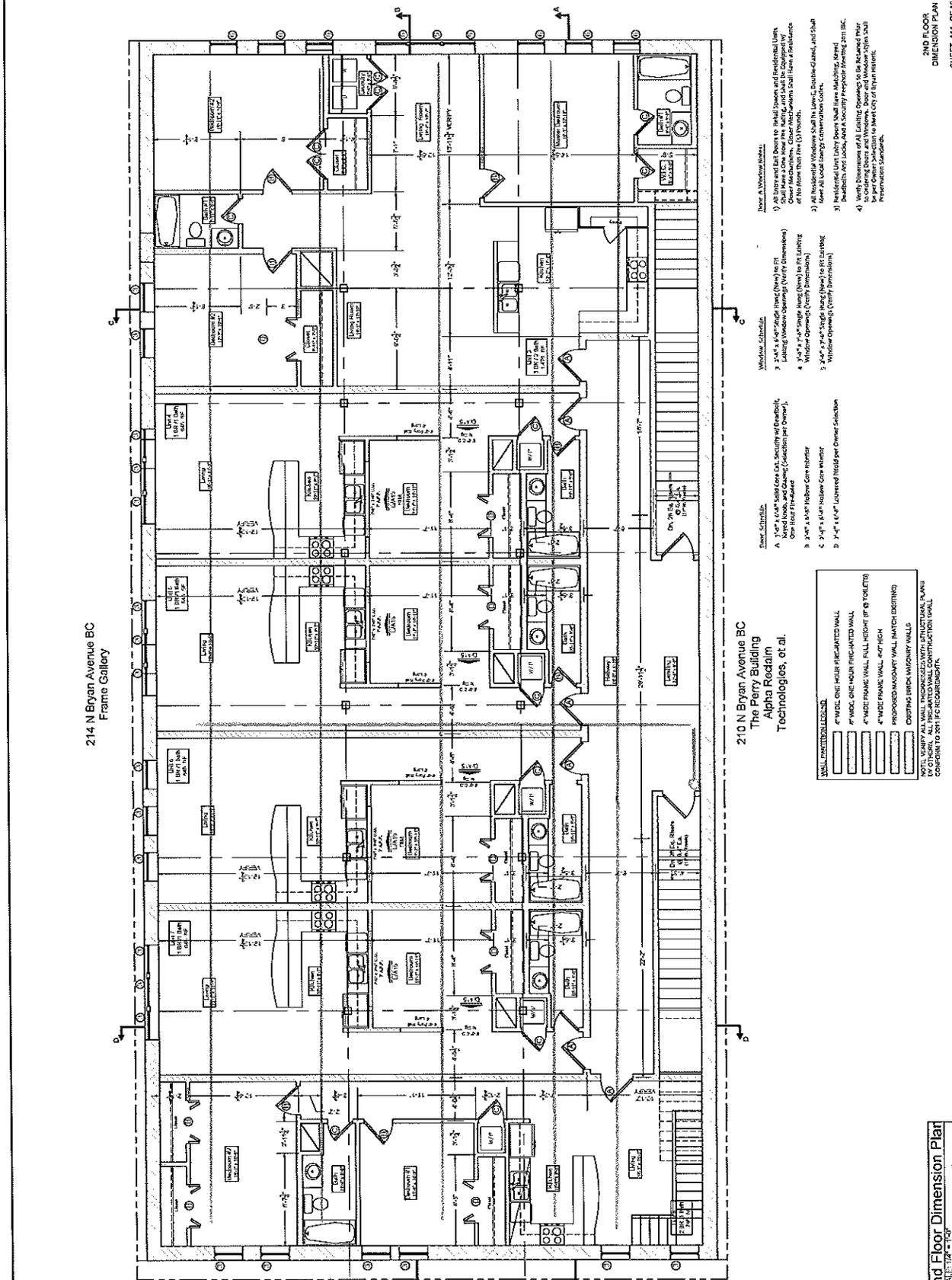
Due to the volatile pipe pricing, we have included inflation of materials through June. This price can be held for **thirty (30)** days. We will have to review pricing after this time.

Thank you for the opportunity to quote this project. Please do not hesitate to call should you have any questions.

Sincerely,

Gary Lantz
Manager

212 North Bryan Avenue



214 N Bryan Avenue BC
Frame Gallery

210 N Bryan Avenue BC
The Perry Building
Alpha Reclaim
Technologies, et al.

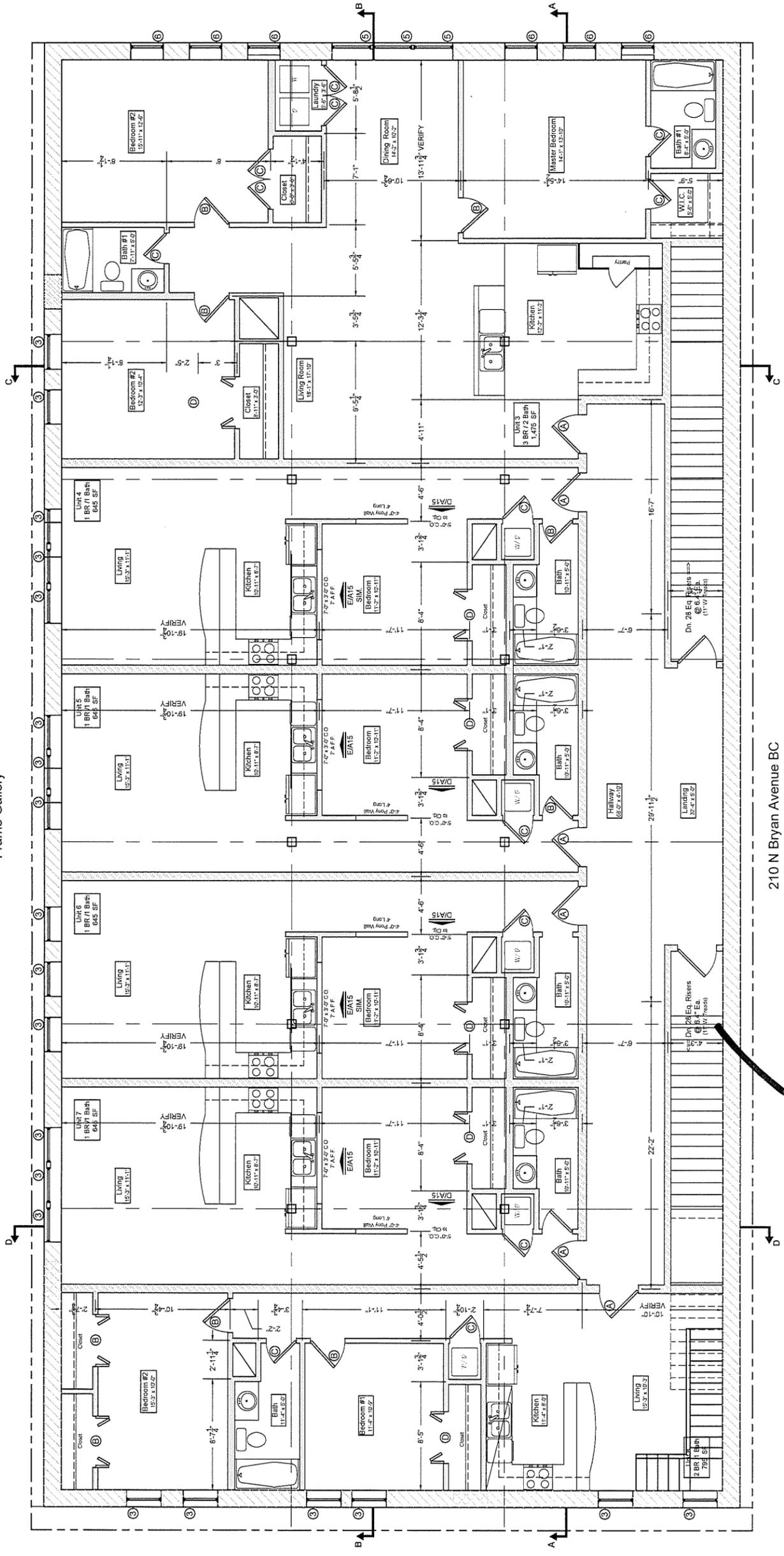
- Door Schedule**
- A 2'-0" x 6'-0" Solid Core Int. Security and Draftstop One-Hour Fire-Rated (100 min. Fire Resistance)
 - B 2'-0" x 6'-0" Hollow Core Interior
 - C 2'-0" x 6'-0" Hollow Core Exterior
 - D 2'-0" x 6'-0" Unrated Insul per Owner Schedule
- Window Schedule**
- 1 2'-0" x 4'-0" Single Hung (Type 1)
 - 2 2'-0" x 4'-0" Double Hung (Type 2)
 - 3 2'-0" x 4'-0" Single Hung (Type 3)
 - 4 2'-0" x 4'-0" Double Hung (Type 4)
 - 5 2'-0" x 4'-0" Single Hung (Type 5)
 - 6 2'-0" x 4'-0" Double Hung (Type 6)
- Door A Window Address**
- 1) All windows shall be 1/2" thick and finished with a clear finish. All windows shall have a minimum of 1/2" from the frame to the wall.
 - 2) All windows shall have a minimum of 1/2" from the frame to the wall.
 - 3) All windows shall have a minimum of 1/2" from the frame to the wall.
 - 4) All windows shall have a minimum of 1/2" from the frame to the wall.
 - 5) All windows shall have a minimum of 1/2" from the frame to the wall.
 - 6) All windows shall have a minimum of 1/2" from the frame to the wall.

- WALL CONSTRUCTION LEGEND**
- 6" WIDE ONE-HOUR PRECASTED WALL
 - 6" WIDE ONE-HOUR PRECASTED WALL
 - 4" WIDE FRAME WALL FULL HEIGHT (OR 8' VALETS)
 - 4" WIDE FRAME WALL 4'-0" HIGH
 - PRECAST MASONRY WALL MATCH EXISTING
 - EXISTING BRICK MASONRY WALLS
- NOTE: VERIFY ALL WALL THICKNESSES WITH ARCHITECTURAL PLANS CONFORM TO 2011 IBC REQUIREMENTS.

2ND FLOOR
DIMENSION PLAN
SHEET A11 OF 10

214 N Bryan Avenue BC
Frame Gallery

210 N Bryan Avenue BC
The Perry Building
Alpha Reclaim
Technologies, et al.



- Door Schedule**
- A 3'-0" x 6'-8" Solid Core Ext. Security w/ Deadbolt, Keyed Knob, and Glazing (Selection per Owner), One Hour Fire-Rated
 - B 1'-8" x 6'-8" Hollow Core Interior
 - C 2'-4" x 6'-8" Hollow Core Interior
 - D 2'-4" x 6'-8" Lowered Bifold per Owner Selection
- Window Schedule**
- 3 2'-8" x 6'-0" Single Hung (New) to Fit Existing Window Openings (Verify Dimensions)
 - 4 3'-0" x 7'-6" Single Hung (New) to Fit Existing Window Openings (Verify Dimensions)
 - 5 2'-6" x 7'-6" Single Hung (New) to Fit Existing Window Openings (Verify Dimensions)
- Door & Window Notes:**
- 1) All Entry and Exit Doors to Retail Spaces and Residential Units Shall Have a One Hour Fire Rating, and Shall Be Equipped w/ Closer Mechanisms. Closer Mechanisms Shall Have a Resistance of No More than Five (5) Pounds.
 - 2) All Residential Windows Shall Be Low-E, Double-Clazed, and Shall Meet All Local Energy Conservation Codes.
 - 3) Residential Unit Entry Doors Shall Have Matching, Keyed Deadbolts And Locks, And A Security Peephole Meeting 2011 IBC.
 - 4) Verify Dimensions of All Existing Openings to Be Retained Prior to Ordering Doors and Windows. Door and Window Styles Shall be per Owner. Selection to Meet City of Bryan Historic Preservation Standards.

WALL PARTITION LEGEND

	4" WIDE, ONE HOUR FIRE-RATED WALL
	6" WIDE, ONE HOUR FIRE-RATED WALL
	4" WIDE FRAME WALL, FULL HEIGHT (6\"/>
	4" WIDE FRAME WALL, 4'-0" HIGH
	PROPOSED MASONRY WALL (MATCH EXISTING)
	EXISTING BRICK MASONRY WALLS

NOTE: VERIFY ALL WALL THICKNESSES WITH STRUCTURAL PLANS BY OTHERS. ALL FIRE-RATED WALL CONSTRUCTION SHALL CONFORM TO 2011 IFC REQUIREMENTS.

2nd Staircase for emergency exit.

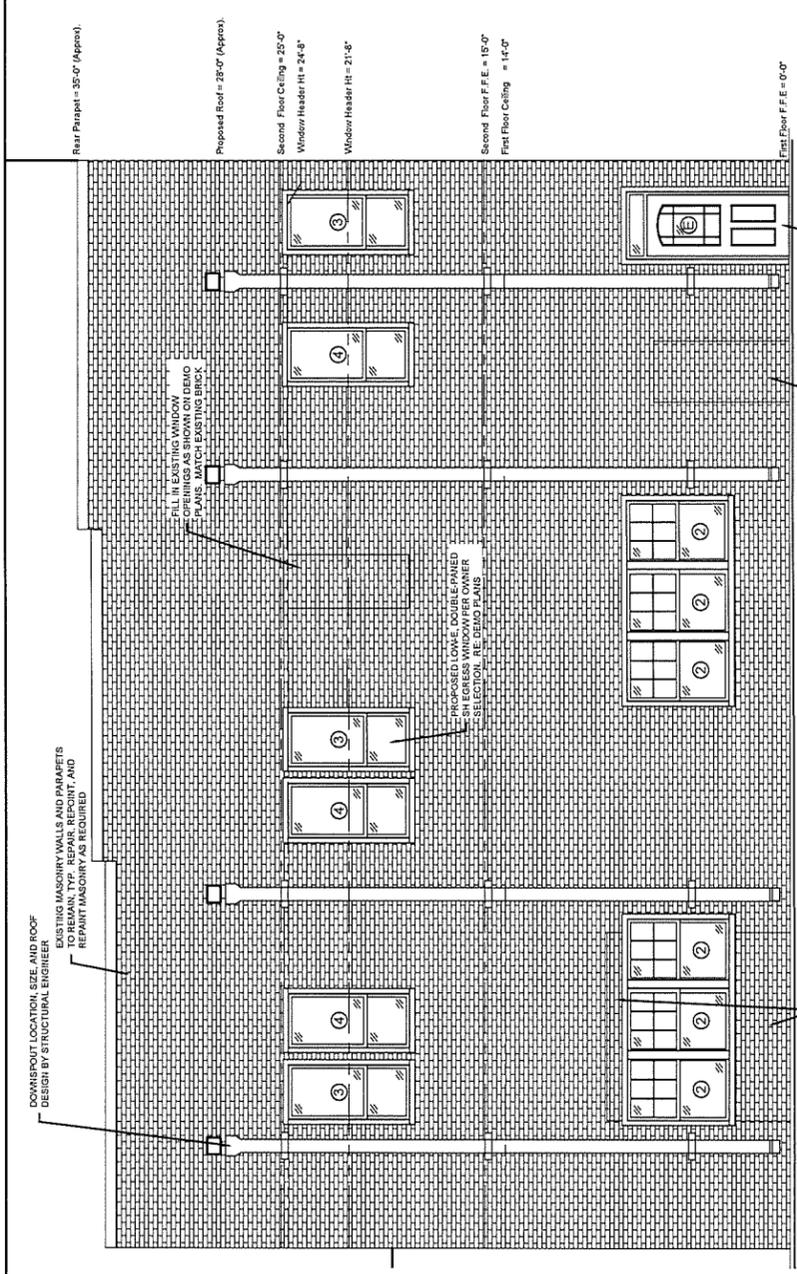
A 2nd Floor Dimension Plan
SCALE: 1/4" = 1'-0"

212 North Bryan Avenue

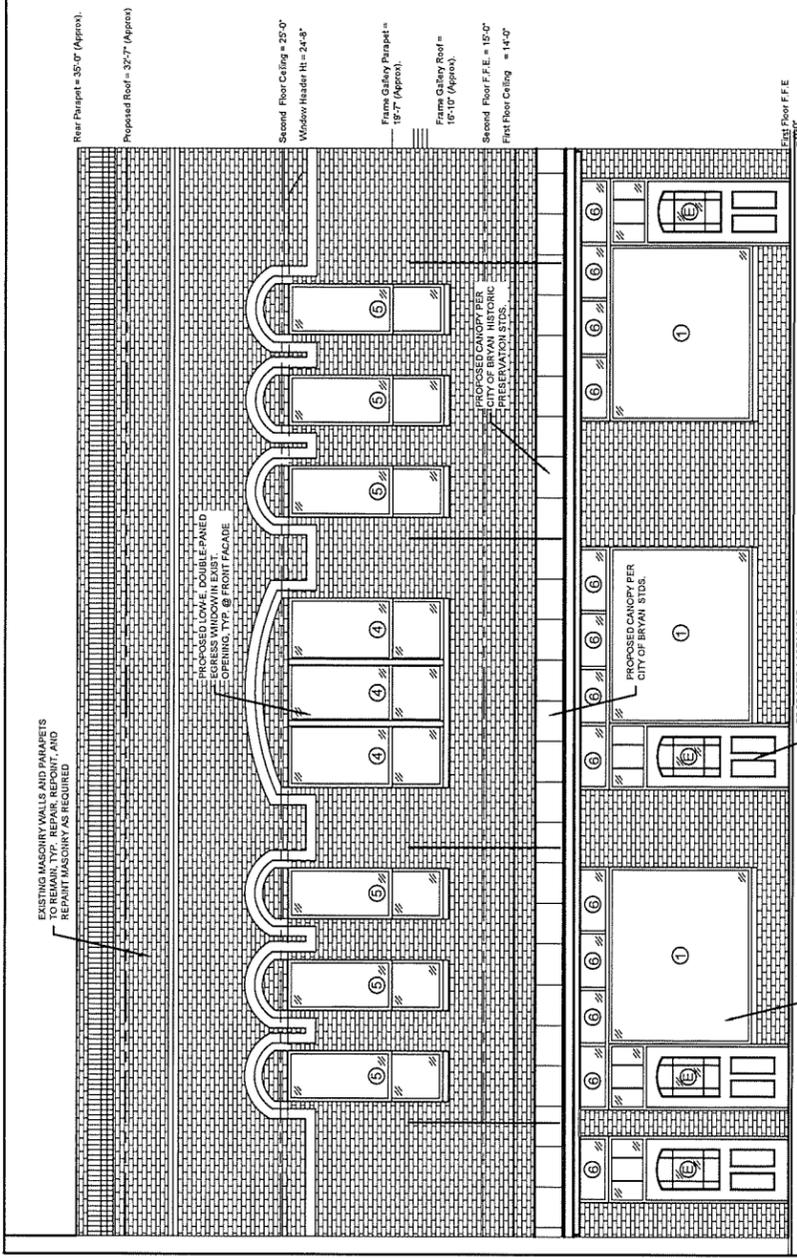
FOR REVIEW ONLY
02-28-15

DAL DESIGNS
Heritage Homes For Today's Families
dalhomedesigns@gmail.com

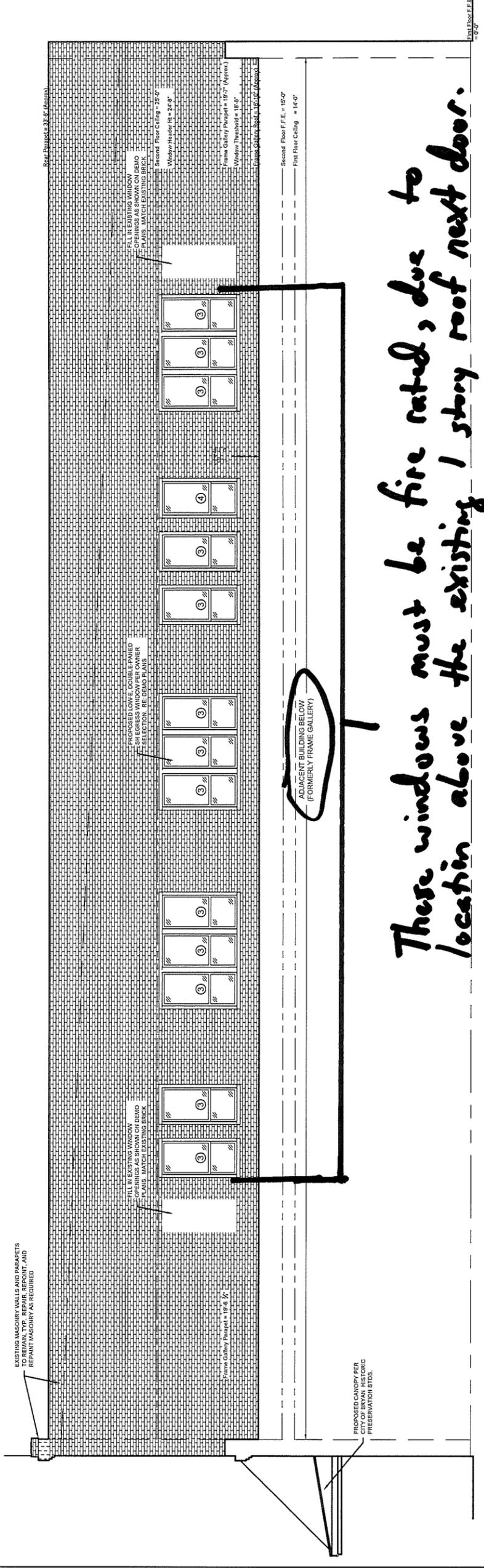
DESIGNS
DAL



B Proposed West Elevation
SCALE: 1/4" = 1'-0"



A Proposed East Elevation
SCALE: 1/4" = 1'-0"



C Proposed North Elevation
SCALE: 1/4" = 1'-0"

These windows must be fire rated, due to location above the existing 1 story roof next door.